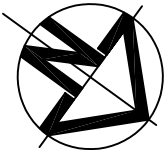


SITE PLAN(SITE ANALYSIS) 1:200



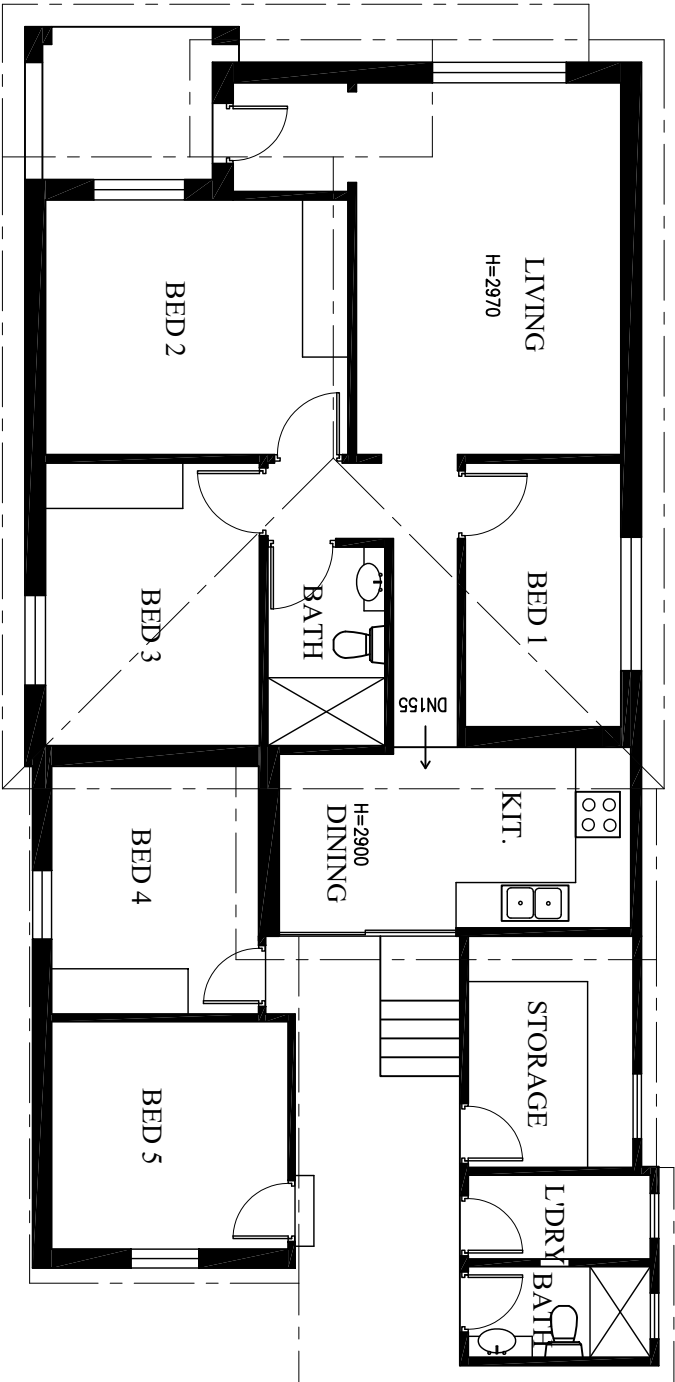
- LANDSCAPE AREA
- PRIVATE OPEN SPACE

AREA:

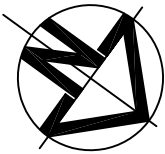
TOTAL LAND AREA: 404.7M2
EXISTING MAIN DWELLING FLOOR AREA: 106.3M2
PROPOSED GROUND FLOOR AREA: 123.8M2
PROPOSED FIRST FLOOR AREA: 77.6M2
TOTAL FLOOR AREA: 201.4M2
EXISTING GARAGE AREA: 52M2
SITE COVERAGE: 137.8+56.7=194.5M2,48%
FSR:0.498:1
LANDSCAPE AREA: 112.5M2, 27.8%
PRIVATE OPEN SPACE: 112.5M2

CLIENT		PROJECT		DRAWING TITLE		
MR. QIN		PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORE STREET, CANTERBURY		SITE PLAN(SITE ANALYSIS)		
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	
E34-01		1:200	S.X.	H.Z.	02/05/22	
				ISSUE	PRELIMINARY ISSUE	DATE
				01	AMENDMENTS	02/05/22

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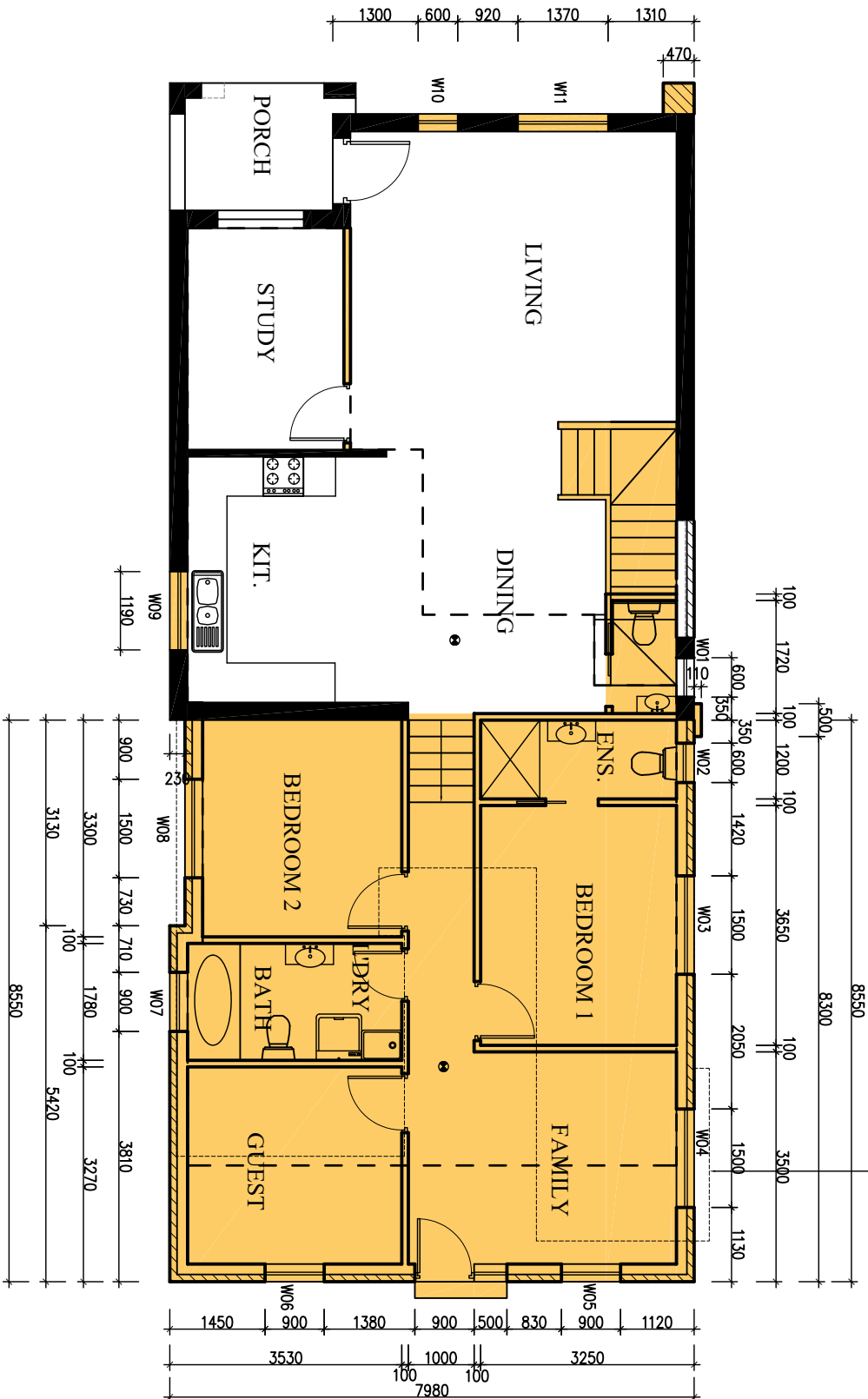
EXISTING FLOOR PLAN 1:100



CLIENT		PROJECT		DRAWING TITLE			
MR. QIN		PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORE STREET, CANTERBURY		EXISTING FLOOR PLAN			
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	ISSUE	PRELIMINARY ISSUE AMENDMENTS
E34-02		1:100	S.X.	H.Z.	02/05/22	01	
							02/05/22 DATE

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EXISTING EXTENSION TO DEMOLISH



PROPOSED GROUND FLOOR PLAN 1:100

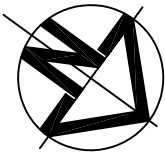


ALTERATION & ADDITION AREA



240V SMOKE ALARM UNDER CEILING

CLIENT		PROJECT		DRAWING TITLE			
MR. QIN		PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORE STREET, CANTERBURY		PROPOSED GROUND FLOOR PLAN			
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	ISSUE	PRELIMINARY ISSUE AMENDMENTS
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					02/05/22	DATE	



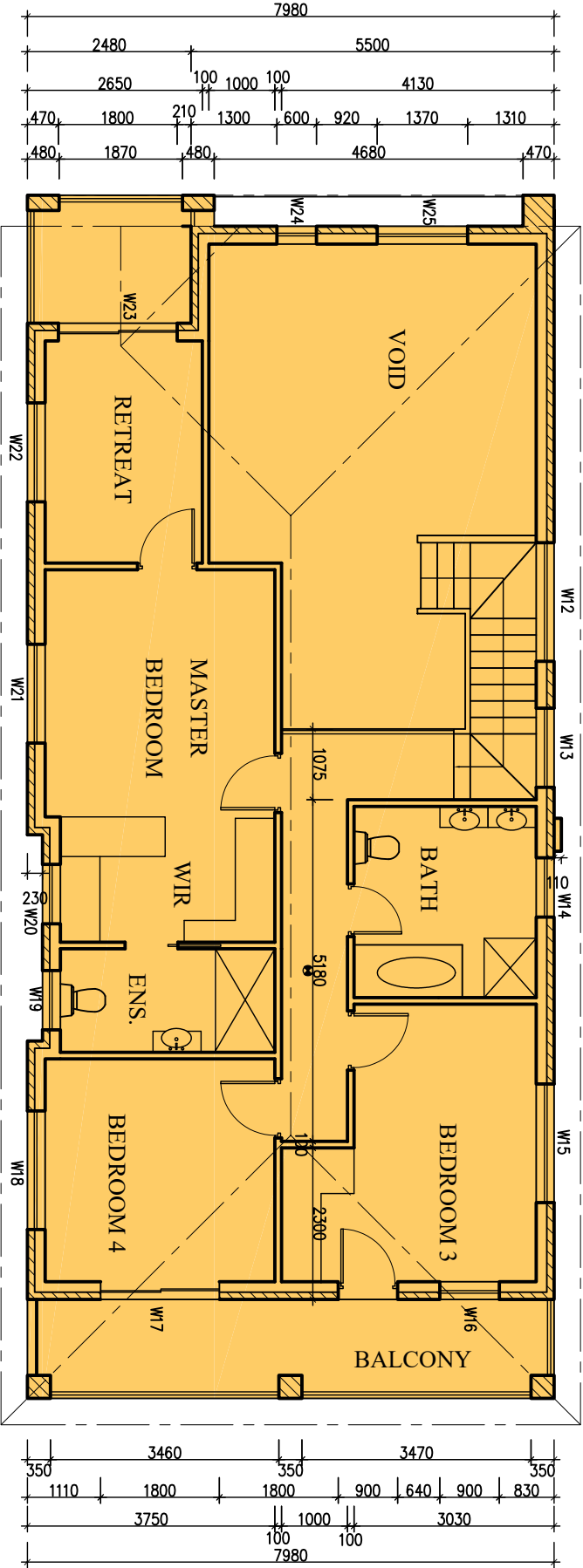
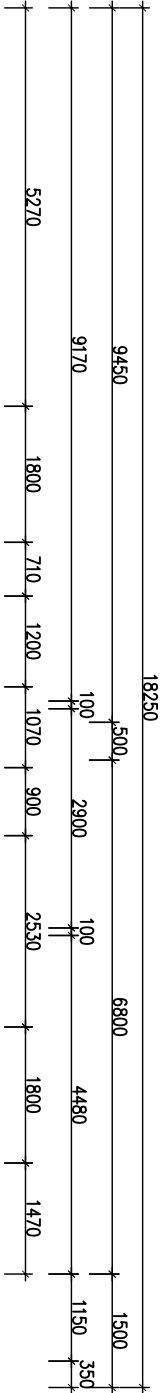
PROPOSED FIRST FLOOR PLAN 1:100



ALTERATION & ADDITION AREA

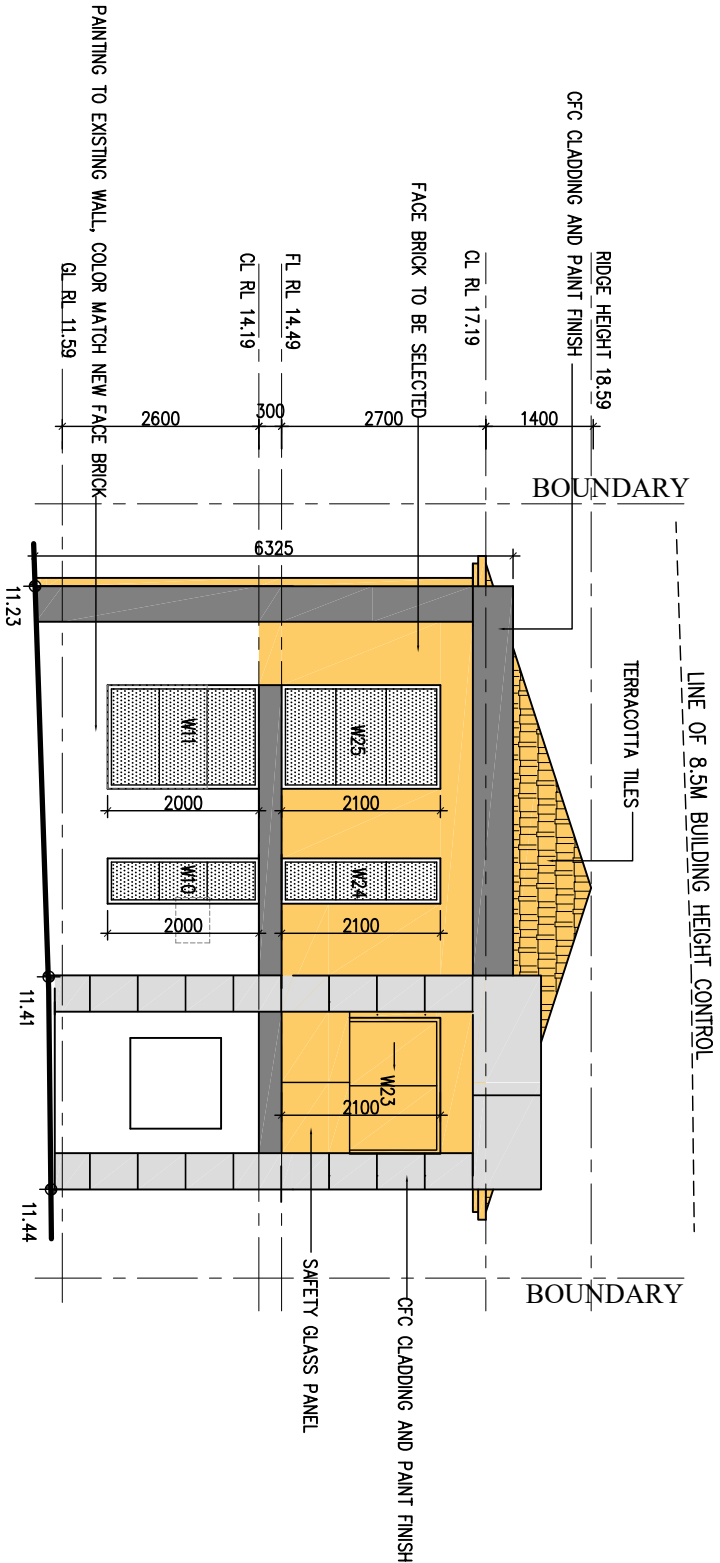


240V SMOKE ALARM UNDER CEILING

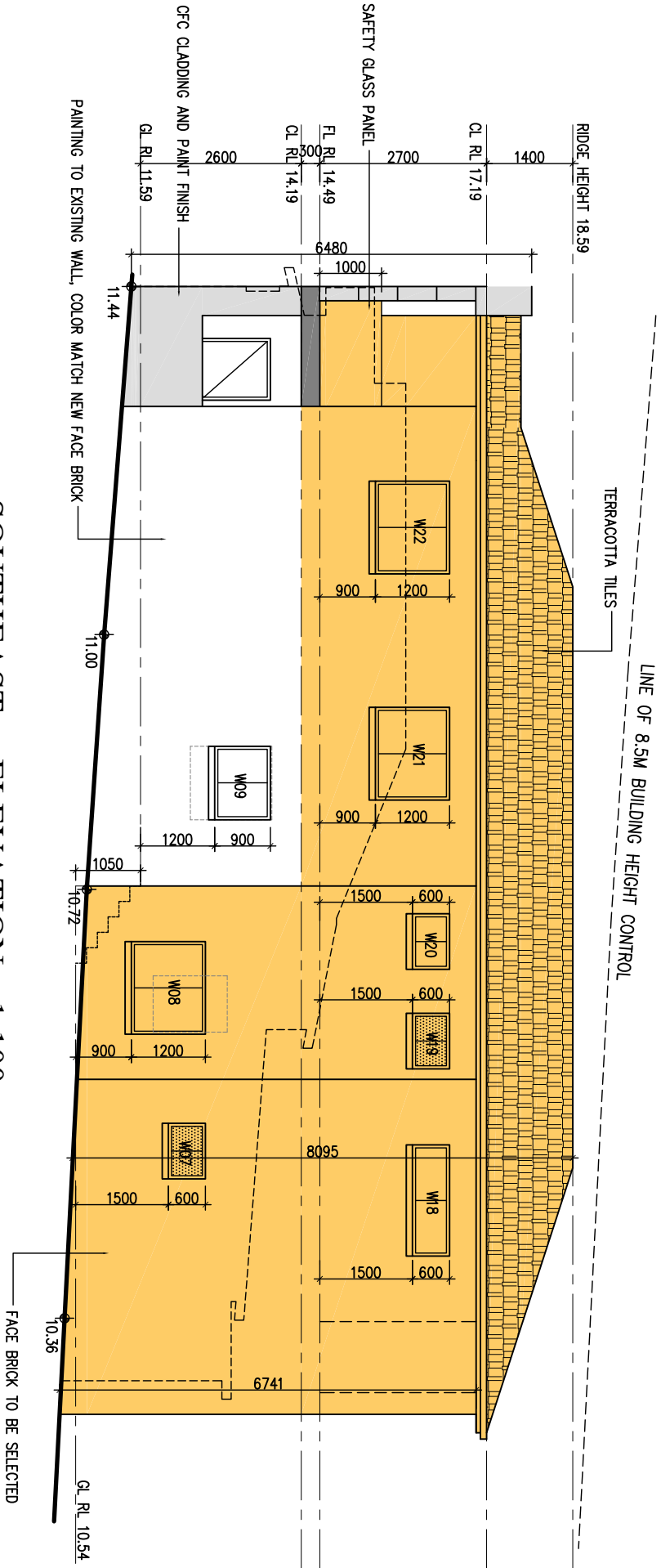


CLIENT		PROJECT		DRAWING TITLE			
MR. QIN		PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORE STREET, CANTERBURY		PROPOSED FIRST FLOOR PLAN			
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	ISSUE	PRELIMINARY ISSUE
E34-04		1:100	S.X.	H.Z.	02/05/22	01	AMENDMENTS
					02/05/22	DATE	

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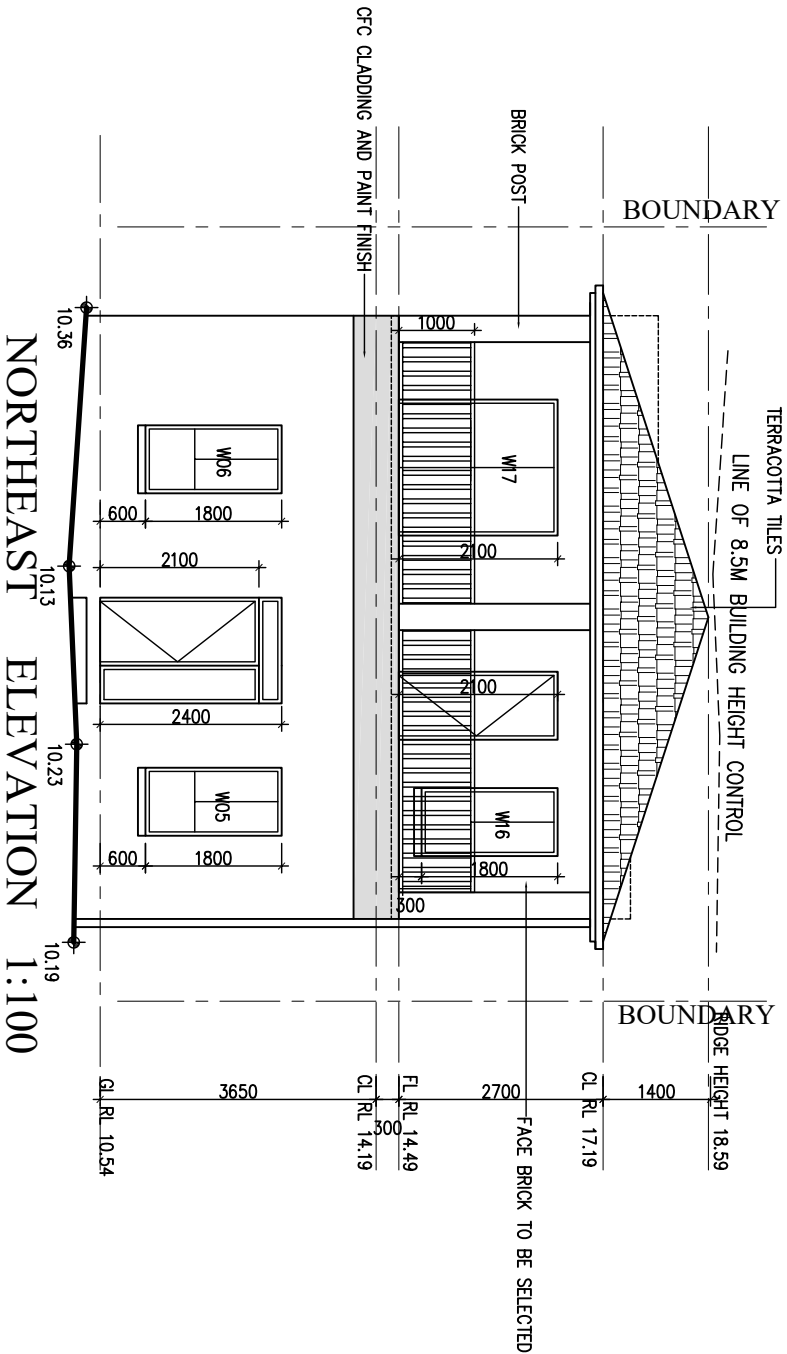
SOUTHWEST ELEVATION 1:100



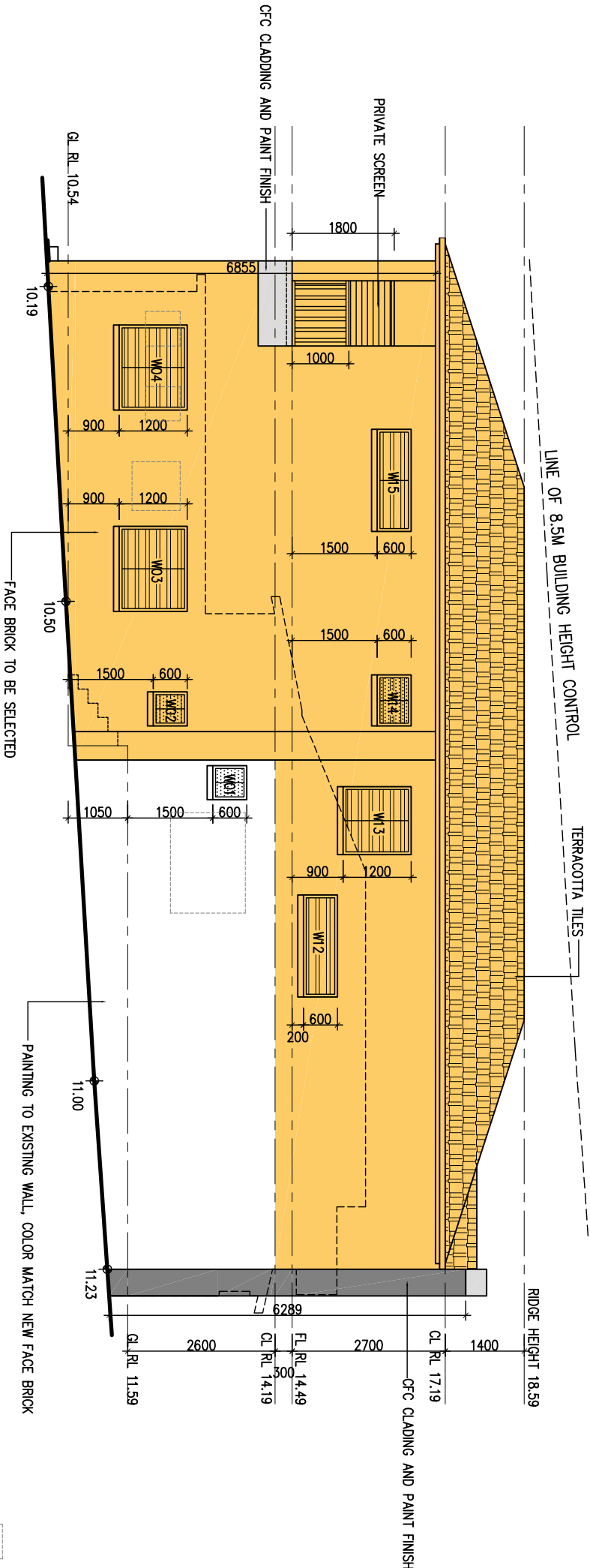
SOUTHEAST ELEVATION 1:100

ALTERATION & ADDITION AREA

CLIENT		PROJECT		DRAWING TITLE		
MR. QIN		PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORE STREET, CANTERBURY		SOUTHWEST ELEVATION		
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	ISSUE
E34-05		1:100	S.X.	H.Z.	02/05/22	01
SOUTHEAST ELEVATION					PRELIMINARY ISSUE	02/05/22
					AMENDMENTS	DATE



NORTHEAST ELEVATION 1:100

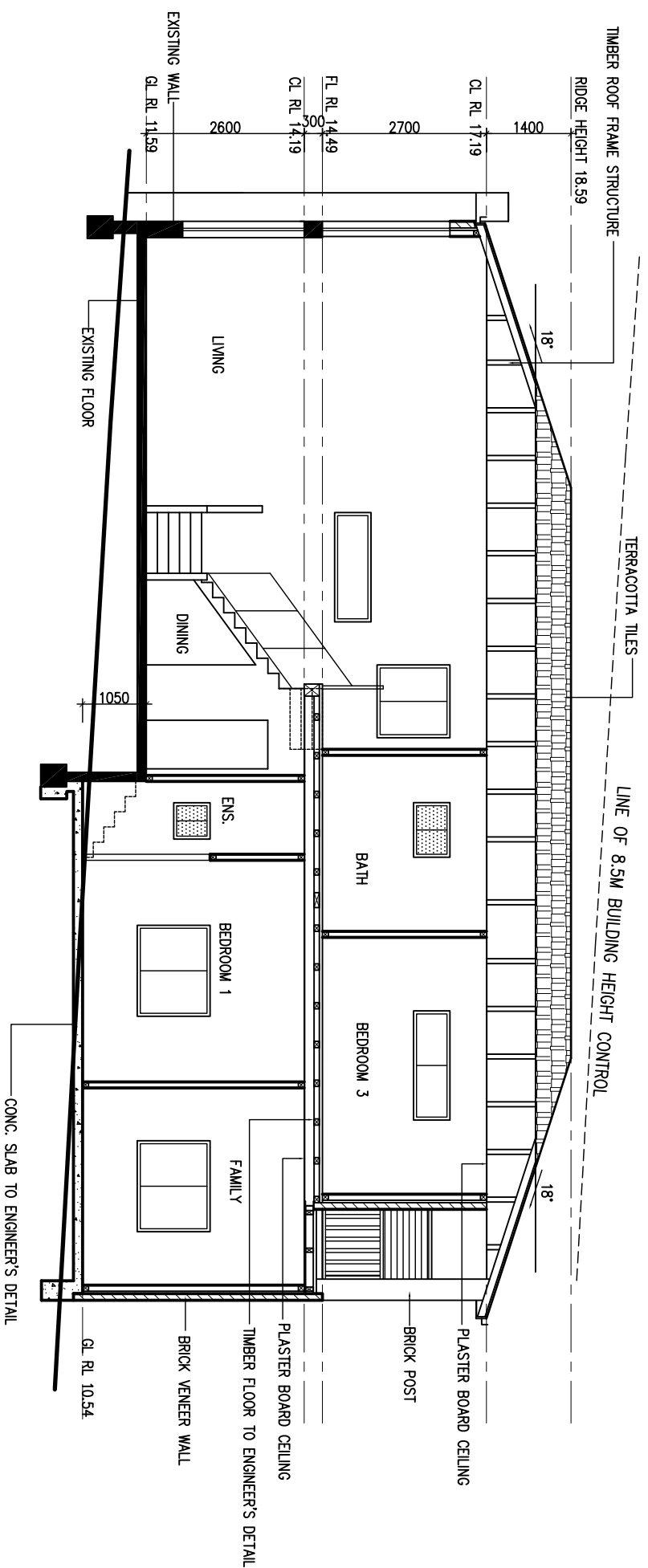


NORTHWEST ELEVATION 1:100

EXISTING WINDOWS

CLIENT		PROJECT		DRAWING TITLE		
MR. QIN		PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORE STREET, CANTERBURY		NORTHWEST ELEVATION NORTHEAST ELEVATION		
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	
E34-06		1:100	S.X.	H.Z.	02/05/22	
					01	PRELIMINARY ISSUE
						AMENDMENTS
						02/05/22
						DATE

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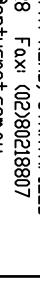
SECTION A-A 1:100

BASIX CHECKLIST

COMMITMENTS		REQ.
FIXTURES AND SYSTEMS		
Lighting	the applicant must ensure a min. of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps	✓
Fixtures	the applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating	✓
	the applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a min. 3 star water rating	✓
	the applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or min. 3 star water rating	✓
CONSTRUCTION		
Floor,walls and ceiling/roof	Floor—concrete slab on ground: nil Floor above existing dwelling or building: nil External wall: brick veneer: R1.16(or R1.70 including construction) Flat ceiling: pitch roof R2.50(up); roof: foil/sarking: medium (solar absorptance 0.475–0.70)	✓
GLAZING REQUIREMENTS		
Window/glazed door	W01–25 :standard aluminium, single clear, (or U–value:7.63, SHGC:0.75) W02,03,04,12,13,14,15: external louvre/blind (fixed)	✓

NOTES:

THE ADDITION SHALL COMPLY WITH BASIX NO: A458995



3D ARCHPLAN

BUILDING DESIGNERS AND BUILDING CONSULTANTS

2/448 PARRAMATTA ROAD, STRATHFIELD
 Tel: (02)80218928 Fax: (02)80218807
 Email: archplan@optusnet.com.au

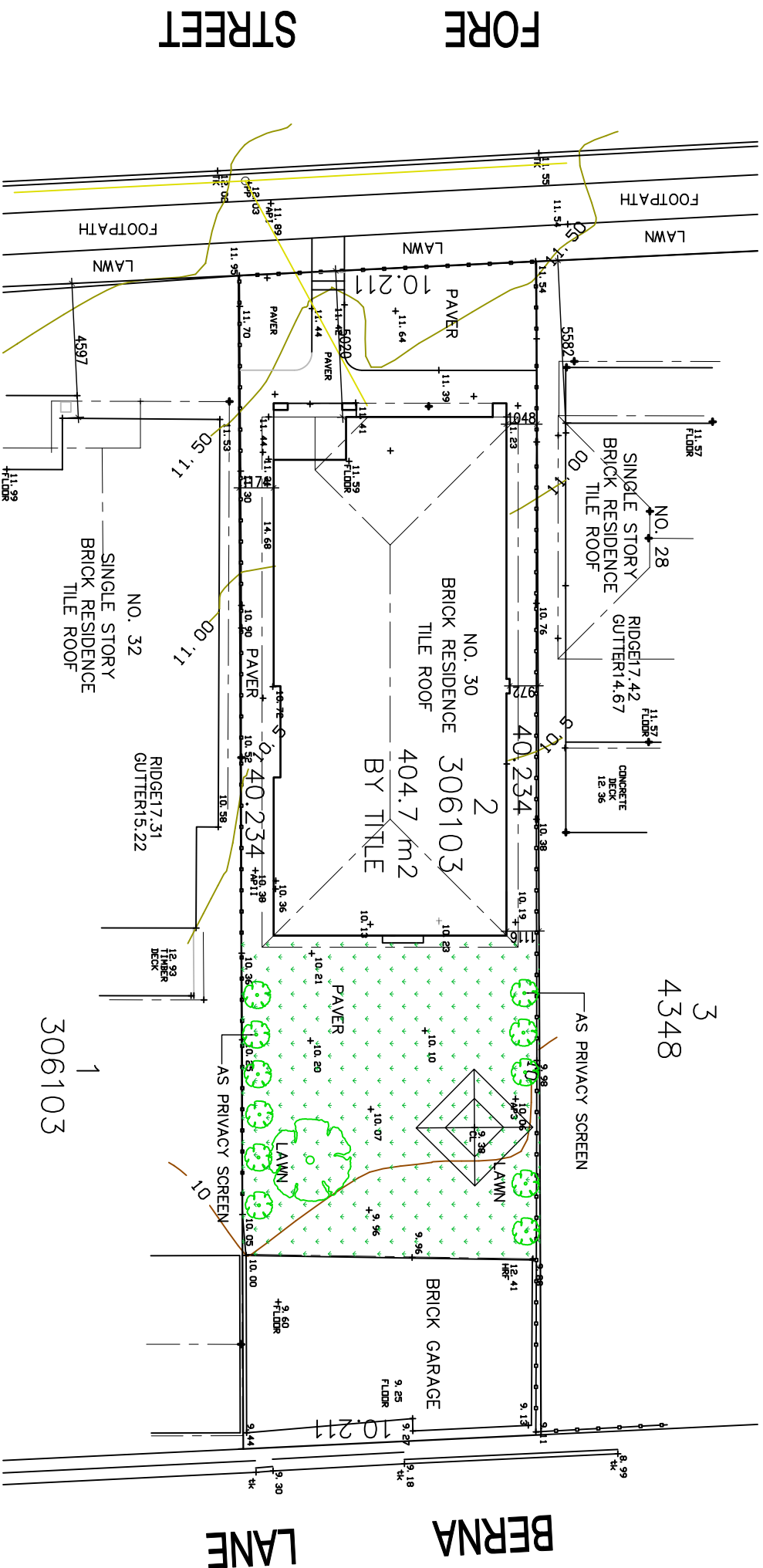
CLIENT MR. QIN		PROJECT PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORD STREET, CANTERBURY				DRAWING TITLE SECTION A-A BASIX CHECKLIST	
DRAWING NO. E34-07	PROJECT NO.	SCALE 1:100	DRAWN S.X.	CHECKED H.Z.	DATE 02/05/22		
		01		PRELIMINARY ISSUE			
		ISSUE		AMENDMENTS			
		02/05/22		DATE			

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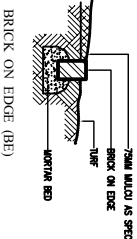
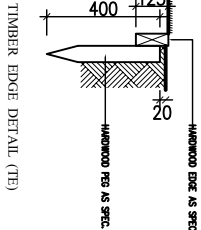
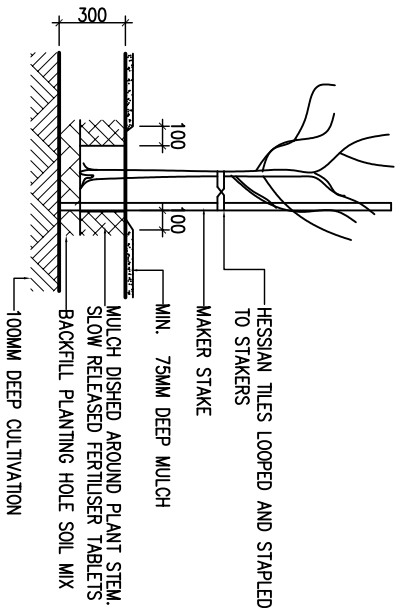
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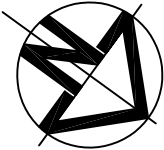
LANDSCAPING SPECIFICATION

- 1. PREPARATION
AFTER THE REMOVAL OF ALL RUBBISH AND BUILDING DEBRIS, SOIL TO BE GRADED BELOW FINISHED FLOOR LEVELS.
GARDENS TO HAVE 325MM DEPTH OF SELECTED SOIL MIX.
SOIL MIX TO COMPRISE: 3 PARTS SANDY LOAM/1 PART MUSHROOM, COMPOST/COARSE RIVER SAND ADDED PROPORTION NECESSARY TO MAKE SOIL FREEDRAINING AND ADD SLOW RELEASE FERTILIZER(SMOCOTE OR EQUIVA) AT THE RATE RECOMMENDED BY THE MANUFACTURER.
BEFORE PLANTING, THOROUGHLY WATER PLANTS AND GARDEN BED HOLES.(TREES PLANTING HOLES TO BE TWICE THE DIAMETER AND 100MM DEEPER THAN THE POT).
- 2. GARDEN EDGING
EXCEPT WHERE SHOWN OTHERWISE ON THE DRAWING, GARDEN TO HAVE 100x50MM HARDWOOD EDGING STACKED AT A MAX 2M. CENTRES TO EACH SIDE. ALL TIMBER TO BE CRESOTE SOAKED BEFORE PLACEMENT.
- 3. FENCES
COURTYARD AND BOUNDARY FENCES TO BE 1800MM HIGH LAPPED AND CAPPED HARDWOOD PALINGS.
- 4. COURTYARDS
GRADE ALL FINISHED COUNTRYARD LEVELS TO STORMWATER SLUMPS.
- 5. PLANTS
ALL PLANTS TO BE WELL GROWN, DISEASE FREE NURSERY STOCK AND TRUE TO SPECIES TYPE. NO SPECIES SHALL BE SUBSTITUTED WITHOUT APPROVAL. NO VENEIGATED STRAIN BE USED.
- 6. PLANTING
TREES TO BE PLACED ON 100MM SOIL MIX.(APPROVED GARDEN MIX): OR SIMILAR, AND POSITIONED CENTRALLY IN HOLE AND THEN BACKFILLED WITH SOIL MIX. ALL TREES AND SHRUBS TO BE PLANTED IN POSITIONS AS SHOWN ON THESE PLANS. GROUNDCOVER PLANTS AS INDICATED GARDEN BED PLANTS MATERIAL, TO BE OF BEST STANDARD AND OPTIMUM SIZE(SHRUBS-ADVANCED 5 LITRES CONTAINERS/GROUNDCOVERS-150MMDIA. POTS) AND SPACING TO THE PLANT SIZE AND SPREAD.
ALL TREES PLANTED INLAWN AREAS TO BE 15-35 LITRE CONTAINERS.
- 7. MULCH
IMMEDIATELY AFTER PLANTING, WATER ALL PLANTS AND THEN MULCH ALL GARDEN BEDS WITH 75MM DEPTH EUCALYPTUS SP. WOOD CHIP(SMAX PARTICLE SIZE MUST NOT 15MM).
- 8. FERTILISER
MASS PLANTED AREAS: ALLOW 2 SHIRLEY'S SLOW RELEASE KOKEL PELLETS PER 5-35 LITRE PLANT AND 1 PER 150MM PLANT. TURFED AREAS: ALLOW SHIRLEY. 5 NO 17 LAWN FERTILISER OR EQUIVALENT, APPLIED IN ACCORDANCE TO MANUFACTURE'S DETAILS.
- 9. TURF
PENNISERTUM CLAUDETINIUM(KIKUYU) SHALL BE GOOD QUALITY AND TREE FROM WEEDS, SUPPLIED BY REPUTABLE DEALER. THATCH TO BE Laid WITH STAGGERED JOINTS. WITH PATHWAYS LEVELS. AFTER LAYING AND WATERING, THE TURF SHALL BE ROLLED AND THE JOINTS FILLED WITH TOP SOIL. TOPDRESS WITH TOPSOIL A.B.S. 6 WEEKS AFTER LAYING ALL TURF SHALL BE PLACED ON 50MM OF APPROVED TOPSOIL. ALL TOPSOIL TO BE GRADED FOR ALL WATER TO DRAIN.
- 10. STAKING
ALL TREES TO BE STACKED WITH 2. 38x38x1500MM LONG HARDWOOD STACKS DRIVEN SECURELY INTO THE GROUND AND TIED WITH 2. 50MM WIDE HESSIAN TIES.
- 11. COMPLETION
ALL PLANTED AREAS SHALL BE CLEARED AND SURPLUS MATERIALS AND RUBBISH REMOVED.
- 12. MAINTENANCE
A MAINTENANCE PERIOD OF 13 WEEKS SHALL APPLY TO LANDSCAPING WORKS. WATER AS REQUIRED TO AVOID STREE AND TO MAINTAIN THE BEST POSSIBLE GROWTH RATES OF THE PLANTS. CONTROL INSECT ATTACK AND DISEASE WITH INSECTICIDES OR FUNGICIDES APPROVED BY THE CONSTRUCTION MANAGER PRUNE AS REQUIRED TO IMPROVED THE CONDITION OF PLANTS.

PLANTING DETAIL

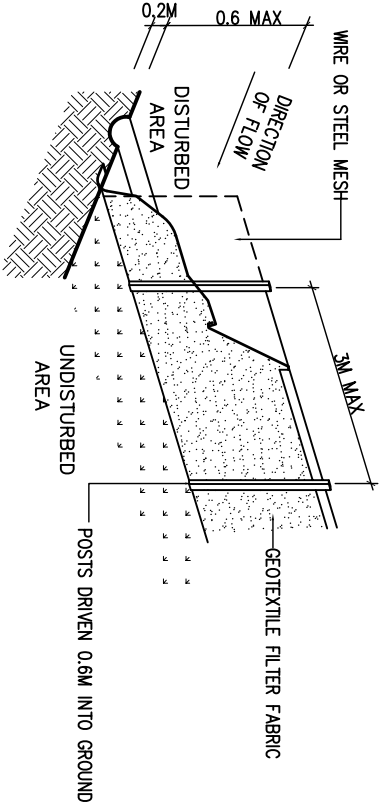
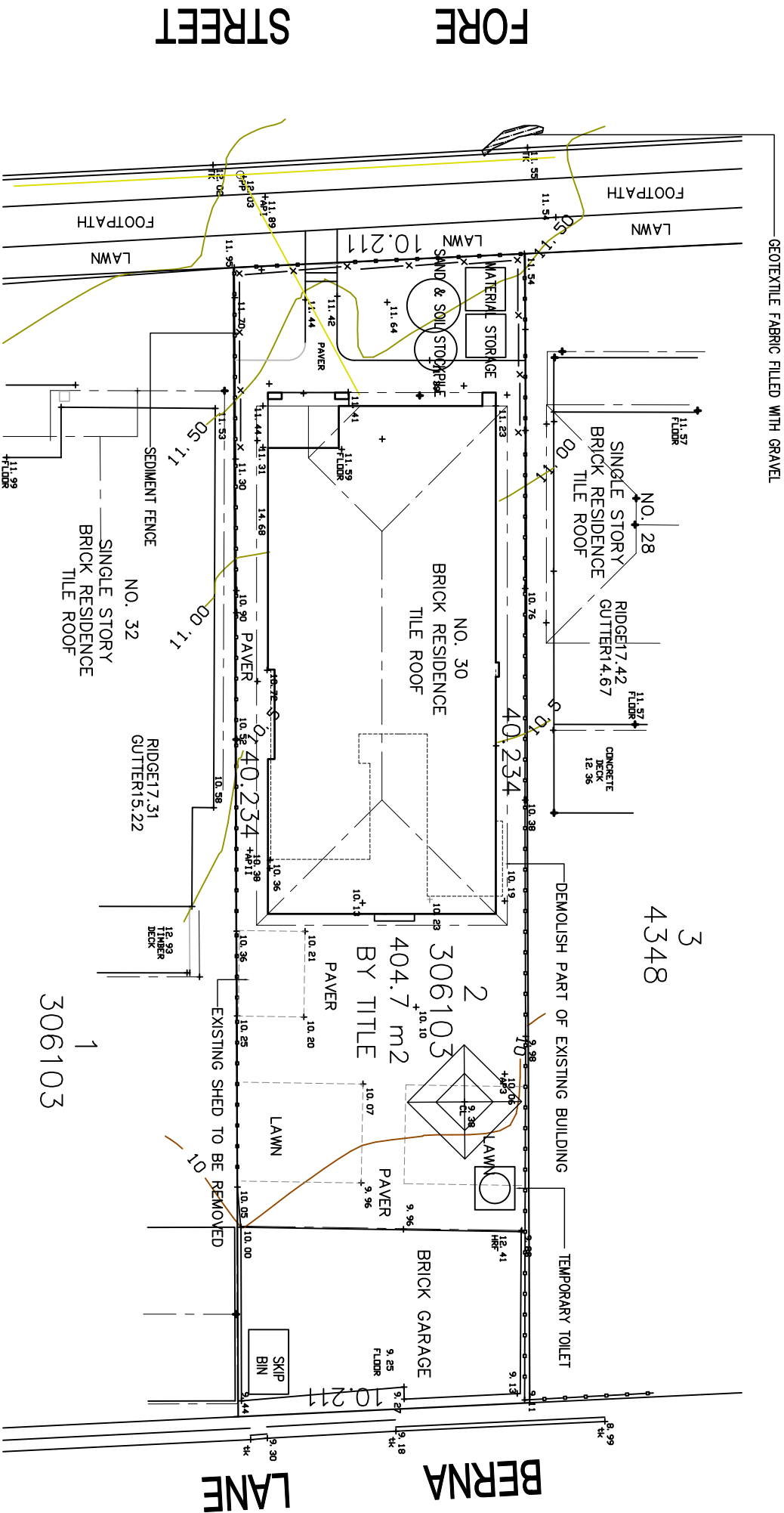


LANDSCAPE PLAN 1:200



CLIENT		PROJECT		DRAWING TITLE			
MR. QIN		PROPOSED ALTERATIONS & ADDITIIONS AT NO. 30 FORE STREET, CANTERBURY		LANDSCAPE PLAN			
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	ISSUE	PREMILIARY ISSUE
E34-08		1:200	S.X.	H.Z.	02/05/22	01	02/05/22
				PLANTING DETAILS		AMENDMENTS	
						DATE	

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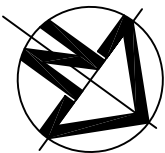
SEDIMENT FENCE DETAIL

NOT TO SCALE

SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARD OF THE SOIL CONSERVATION OF NSW.
2. DRAINAGE SHALL BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIAL.
5. ALL DISTURBED AREA SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS TO BE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE PIPES AND AREA WHERE WATER MAY CONCENTRATE.
7. SILT FENCE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. THE SILT FENCES ARE

EROSION & SEDIMENT CONTROL PLAN 1:200



CLIENT		PROJECT		DRAWING TITLE		
MR. QIN		PROPOSED ALTERATIONS & ADDITIONS AT NO. 30 FORE STREET, CANTERBURY		EROSION & SEDIMENT CONTROL PLAN		
DRAWING NO.	PROJECT NO.	SCALE	DRAWN	CHECKED	DATE	
E34-13		1:200	S.X.	H.Z.	02/05/22	
					01	PRELIMINARY ISSUE
						AMENDMENTS
						DATE

MATERIAL & FINISH SCHEDULE

(30 Fore Street, Canterbury)

External wall: Face brick
Whitsunday Orpheus



Roof tile:
French, Eclipse



Window: Aluminum



Porch: CFC panel



Gutter: Colorbond



Trim wall : CFC panel

